

1. GENERAL ARCHITECTURAL NOTES		3. FLOOR FINISHES	5. ELEVATIONS, SECTIONS & DETAIL NOTES	7. WINDOW NOTES CONT'D
1.1. ARCHITECTURAL DOCUMENTATION	1.1.1. The Architectural Documentation includes the following separate documents: Architectural Drawings, Architectural Construction Details, Incorporating Architectural Trade Specifications, Finishes, Fixture, Fitting and Signage Schedules.	3.1. REFERENCES 3.1.1. Refer Floor and slab setup notes for all elements, which could affect or impact selected floor finishes including set screws, joints, junctions with adjacent floor finishes, etc. 3.1.2. Refer manufacturer's details, recommendations and instructions for selected floor finishes, including supply, delivery, storage, installation, preparation, laying, and finishing. 3.1.3. All external ground surfaces and finishes including paving, tiles, bricks, concrete, blumens etc. to be non-slip. 3.1.4. External corridors, walkways, and pedestrian crossings to be P10/10. External ramps to be P10/11. 3.1.5. Entry Foyers Hotel, Office, Public Buildings – (We) to be P10/10. 3.1.6. Entry Foyers Hotel, Office, Public Buildings – (We) to be P10/10. 3.1.7. Shopping Centres, Food Courts to be P10/10. 3.1.8. Other separate Shop/Indoor Food Areas to be P10/10. 3.1.9. Internal ramps, slopes 1:27 to be P10/10. 3.1.10. Lift Lobbies above external entry level to be P10/10. 3.1.11. Other separate Shop/Indoor Food Areas to be P10/10. 3.1.12. Fast Food Outlets, Buffet Food Service Areas to be P10/10. 3.1.13. Supermarket Aisle except Fresh Food Areas to be P10/10. 3.1.14. Toilet Facilities in Offices, Hotels, Shopping Centres to be P10/10. 3.1.15. Accessible internal stair nosings (Drs) – Handrails present to be P10/10. 3.1.16. Accessible internal stair nosings (Wls) – Handrails present to be P10/11. 3.1.17. Accessible internal stair nosings (Wls) – Handrails present to be P10/11. 3.1.18. Refer NCC, Australian Standards and AS 1797 Extra Detail 1, 2, 3, 4, 5.	5.1. Provide Sign System below 0.55 square covers or approved alternative to flow traffic and provide 300 x 300mm or larger tiles. Otherwise provide aluminium or SS square covers to conceal overflows. 5.1.1. Refer Acta Standard Notes. 5.1.2. All parapet and fascia concrete, flashing, etc. to be Colobond or painted incalume unless noted otherwise. 5.1.3. All roof mounted equipment, signage, condensers, ducts, exhaust fan etc., shall be concealed behind suitable screens, louvers etc. 5.1.4. SIGMAE & GRAPHICS 5.1.5. All major illuminated and non-illuminated signage and graphics to be in accordance with Planning Approval and Design Briefs, shop drawings and signage drawings. 5.1.6. Provide electrical power supply to all illuminated signage and graphics as required, including switching, time clocks, light sensors. All products to be fully concealed. 5.1.7. Also provide electrical and signage drawings. 5.1.8. All signage and graphics to be set out carefully, to the approval of the architect, including height, location, and alignment with adjacent building elements, signage, etc. 5.1.9. All signage and graphics to be commercial quality, sealed, and securely mounted in accordance with manufacturers details and recommendations.	7.3.9. All glazing and framing to comply with relevant NCC Part J D103 Review and Glazing Calculator and nominated glass types and framing types. 7.3.10. Glass supplied to be in accordance with Australian Standards AS 1288 and human impact requirements. 7.3.11. All glass supplied and installed to be toughened, heat strengthened and/or laminated safety glass, as required by Code and Australian Standards. 7.3.12. All glass supplied to have all glass edge processes as required by Australian Standards. 7.3.13. All glass to be guaranteed for 12 months minimum against delaminating and deterioration, depending on installation process. 7.3.14. Provide Glazing Certificates and Certificates of Compliance for all glass installations that require certification, as required by Australian Standards including Australian Glass and Glazing Competency Number. 7.4. THERMATIC CATEGORY 7.4.1. All glass, glazing, and framing to comply with the relevant thermatic category, intended use, and purpose. Refer also Structural Engineer and specialist Glazing Engineer. 7.5. All preweathered and anodized aluminium profiles to comply with all relevant current Australian Standards. Refer to suppliers and manufacturer. 7.5.1. Ensure all metals and surface finishes are upgrade and suitable marine grade when located near salt water. All metal work to be stainless steel, plumbing, roofing, cladding, powder coat and paint finishes, exposed metal work, aluminium window and door framing etc. 7.6. AUTOMATIC SLIDING DOOR OPERATORS 7.6.1. All automatic sliding door operators to be fitted with battery back-up and fail-safe mechanism. 7.6.2. All automatic sliding door operators to be operable under a force of not more than 110N in the event of power failure or power supply interruption. 7.7. DECALS & MANIFESTATION 7.7.1. Provide visible safety decals and manifestation to hinged and sliding glass doors and windows. Refer specialist Door Hardware Schedule in accordance with Australian Standards AS 1288. 7.7.2. Detail markings and manifestation shall be in the form of an opaque or contrasting band of material to make safe and visible across the glass as required. Preferably fixed to internal side of glass. 7.7.3. Detail markings and manifestation to be 20mm high (min), but not less than 50mm (max) and extend 100mm above and 100mm below glass edge and not more than 1200mm AFL to lower edge of band. Band to be readily apparent by contrast with background or by increasing the height of the band. 8. DOORS NOTES 8.1. GENERAL 8.1.1. Refer to specialist Door Hardware Schedule for comprehensive details of all door hardware. 8.1.2. Refer to all Architectural Drawings, including floor plans and elevations and check door hardware which is for external doors, fire rated doors, overhead doors, glazed doors, or with special requirements or function etc. 8.1.3. All structural openings to be checked, measured, and verified on site for accuracy, level, and squariness prior to fabrication on site. 8.1.4. All glass doors to have related meeting stile as required unless noted otherwise. 8.2. DOORS, DOOR HARDWARE & FURNITURE 8.2.1. The supply and correct installation of all door hardware and furniture shall be in strict accordance with Door Hardware Schedule provided. All door hardware and furniture to be supplied by reputable accredited suppliers without substitution unless approved by architect or designer. 8.2.2. All external doors exposed to the weather to be external grade solid core doors sealed and painted on both sides. All external door hinges to be 3, concealed non lift off, 45mm x 45mm and welded for fire doors. 8.2.3. Refer Mechanical Documentation for all door profiles including size, type, and finish. 8.2.4. DOOR LOCK & MASTER KEYING 8.3.1. The Builder shall supply and install construction and temporary cylinders during construction works and replace with nominated cylinders and keying systems as required. 8.3.2. The Door Hardware Schedule shall include a complete system of access hierarchy, master keying and security throughout the projects as required and as requested by occupier, tenant, and building manager. 8.3.3. All keying Systems shall be installed in accordance with the following: master key, grand master key, grand grandmaster key, master, key, etc., stamped, coded, and numbered according. To suit application, access, security, number of tenets, building, stores, doors, fire, doors, and project site. 8.4. COMPLIANCE & REFERENCE 8.4.1. All doors, frames, hardware, furniture and finishes to comply with all relevant Australian Standards, including: 8.4.2. AS 1905.1 - Fire Resistant Doors 8.4.3. AS 2796 - Timber - Hardwood 8.4.4. AS 4455 - Automatic - Sliding Door Assemblies 8.4.5. AS 4455 - Locks 8.4.6. AS 4785 - Timber - Softwood 8.4.7. Comply also with all requirements of Design Briefs & requirements of Occupier/Tenant etc. as required.
1.2. The Architectural Documentation shall be read in conjunction with all relevant Consultant's documents including: Structural, Finishes, Electrical, Mechanical, Hydraulic, Fire, Vertical Transport and Traffic Engineering, Heritage, QSO, ISO 9001, ISO 14001, ISO 45001, etc.	1.3. The Architectural Drawing was produced using Revit / AutoCAD. Do not manually alter this drawing in any way. Do not reproduce in full or part without approval. Do not scale from drawings. All dimensions take precedence. All dimensions are in millimetres. Any discrepancies shall be reported to the Superintendent / architect for action and resolution. Check and verify all dimensions on site prior to works. This drawing and its contents are subject to copyright laws and intellectual property. Any existing buildings, structure or services to be checked and confirmed on site prior to commencing any new works.	3.2. PREPARATION & FINISHING 3.2.1. Provide all required floor slab preparation, screeds, stretch, non-slip tiles and provide for selected floor finishes, terrazzo, carpet tiles, ceramic and porcelain floor tiles, polished concrete, vinyl floor sheet and vinyl floor tile, floor slabs, ducts, pipes, etc. 3.2.2. Provide all required draining strips, edge trims, edge frames etc. between different floor finishes including vinyl, aluminium, brass, and stainless steel. 3.2.3. Changes to floor finishes including wall to doorway to occur below doors in the closed position and do not be visible when doors are closed unless noted otherwise. 3.2.4. INSTALLATION 3.2.5. Laying and installation, laying, junctions, joints and cuts to be straight, true, and neat to manufacturers details and recommendations to Australian Standards. 3.2.6. Laying and installation of floor wastes, trench grates, walls, bolards, floor, floor boxes etc. to be true, neat and finished flush without holding water or dirt to Australian Standards and Health department requirements. 3.2.7. Vinyl floor tiles with a grain or direction to be laid in the same direction and not checker board pattern unless noted otherwise. 3.2.8. Recycled floor mats to finish flush and sit flat and true. Allow to settle and not set down/move/roll unless noted otherwise. 3.2.9. Refer manufacturer's details. Perimeter frames to finish flush, secured to floor and joined in conformance to manufacturers details. 3.3. EXPANSION & CONTRACTION JOINTS 3.3.1. Provide expansion joints and control joints at 6m centres unless noted otherwise. Also provide manufacturer's recommendations and details. Locations to be checked and confirmed on site prior to installation. 3.3.2. Expansion joints and construction joint materials to match selected floor tile colour where possible unless noted otherwise. Expansion and contraction joints to finish flush with tiles and be installed in accordance with manufacturer's recommendations and details. 3.3.3. Expansion joints and construction joints to be preferably located outside changes in colour or patterns other than the majority of the tiles of the same colour, to reduce visibility or significance within floor. 3.3.4. CRACK ISOLATION MEMBRANES 3.3.5. Where expansion joints and construction joints are not wanted or work is to use a specialist crack isolation membrane below the floor slab to manufacturers recommendations and details to avoid movement, cracking, and the failure. 3.3.6. FINISHING & CLEANING 3.3.7. Ensure all floor tiles thoroughly cleaned by a professional commercial cleaner and prior to handover. All vinyl floor to be stripped and sealed to manufacturer's details. Any damaged, worn or workmanship to be replaced with new tiles. 3.3.8. Ensure the Facilities Manager/Building Owner/Client Manager understands the cleaning and maintenance requirements for all finishes. Also ensure they comply with the manufacturer's instructions and recommendations of the various floor finishes, including general, periodic, major cleaning and polishing and maintenance. 3.3.9. ABBREVIATIONS 3.3.10. Spot in slab indicator - figure noted represents nominated depth in structural floor slab and height difference between adjacent floor levels.	5.2. GENERAL 5.2.1. The Builder shall check and verify all dimensions, heights and RL's shown and noted prior to construction on site. 5.2.2. Refer to Construction Schedule and Finishes Schedule for all references to material and finish. 5.2.3. Unless noted otherwise, all visible surfaces to be painted, pre-primed, Colobond, or powdercoated as selected. 5.2.4. Zincalume and galvanised finishes shall not be visible unless noted otherwise. 5.2.5. WALLS 5.2.6. Precast concrete wall panels shall have surface quality for intended finish, including selected paint finish, colour, and approved application process. 5.2.7. Caulking to precast concrete walls to match the selected paint finish or surface finish or be able to be painted to match the selected paint finish and colour. 5.2.8. Provide nominated anti-graffiti protection coating to the nominated height or at least 300mm above ground level. Coating to be applied over paint or surface finish or part of paint system. 5.3. WINDOWS 5.3.1. Refer to Window Schedule for full details, size, dimensions, break-up, frame system and finish of all storefronts, windows, doors, and automatic sliding glass. 5.3.2. All windows and doors to include head deflection channels, windows to include sub-sills, and doors to include weather seals and thresholds. 5.3.3. All external doors exposed to the weather to be external grade solid core doors, sealed and painted as required. All external door hinges to be 3, concealed non lift off, fixed pin joint, and welded for fire doors. 5.3.4. All external doors to be fitted with door seals (jamb, head, and sill) to seal against weather, dust, moisture, fumes, and insects etc. 5.3.5. All external doors exposed to the weather shall be fitted with aluminium door seals to seal against weather, dust, moisture, fumes, and insects etc. 5.3.6. All internal and exit doors to have all required signage to comply with NCC and Design Briefs. 5.3.7. GLASS & GLAZING 5.3.8. All glass and glazing to comply with applicable Australian Standards including AS 1288. 5.3.9. All glazing to be safety glass where required and include safety decal/manifestation as required to doors, side panels etc. and where a safety of damage is possible. 5.3.10. Generally, all glass to be clear unless noted otherwise. Refer to Project Glazing Calculator and Window Schedule. 5.3.11. Exposed doors/windows to be avoided where possible and practical. Otherwise they shall be boxed or concealed. 5.3.12. Preferably all exposed doors/windows to be boxed or enclosed in a paint colour finish. Colobond steel, composite steel or SS enclosed doors. Otherwise minimum treatment is to paint exposed door/window and otherwise to match adjacent wall colour.	5.3.1. Provide Sign System below 0.55 square covers or approved alternative to flow traffic and provide 300 x 300mm or larger tiles. Otherwise provide aluminium or SS square covers to conceal overflows. 5.3.1.1. Refer Acta Standard Notes. 5.3.1.2. All parapet and fascia concrete, flashing, etc. to be Colobond or painted incalume unless noted otherwise. 5.3.1.3. All roof mounted equipment, signage, condensers, ducts, exhaust fan etc., shall be concealed behind suitable screens, louvers etc. 5.3.1.4. SIGMAE & GRAPHICS 5.3.



SITE PLAN
NOT TO SCALE

THIS DRAWING AND ALL INFORMATION SHOWN IS THE EXCLUSIVE PROPERTY OF "Y ARCHITECTURE STUDIO" AND IS SUBMITTED ONLY ON A CONFIDENTIAL BASIS. THE RECIPIENT AGREES NOT TO REPRODUCE THE DRAWING AND TO RETURN IT UPON REQUEST AND THAT NO DISCLOSURE OF THE DRAWING OR THE INFORMATION SHOWN WILL BE MADE TO ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT FROM "Y ARCHITECTURE STUDIO".

ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO COMMENCEMENT OF ANY WORK AND DISCREPANCIES IMMEDIATELY REPORTED TO THE CONSULTANT FOR INTERPRETATION.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL OTHER
DRAWINGS IN THE ARCHITECTURAL SET, CONSULTANT DRAWINGS,
PROJECT SPECIFICATIONS, SCHEDULES, AND RELEVANT CONTRACTS.

DO NOT SCALE FROM DRAWINGS, REFER TO GIVEN DIMENSIONS.

VARIATIONS TO WORK SHOWN MUST BE CLAIMED AND APPROVED.

NOTE LEGEND

[illegible]

CLIENT:

VENUES WEST

ARCHITECT:

y. architecture
STUDIO

yip@y-architecture.studio / 0430 394 223 / ABWA 3028

CONSTRUCTION

PROJECT:
GOLD NETBALL CENTRE
200 Selby St, Jolimont WA 6014

DRAWING TITLE:
NOTES & SITE PLAN

DRAWING NO.

A0.01

JOB NO:
136

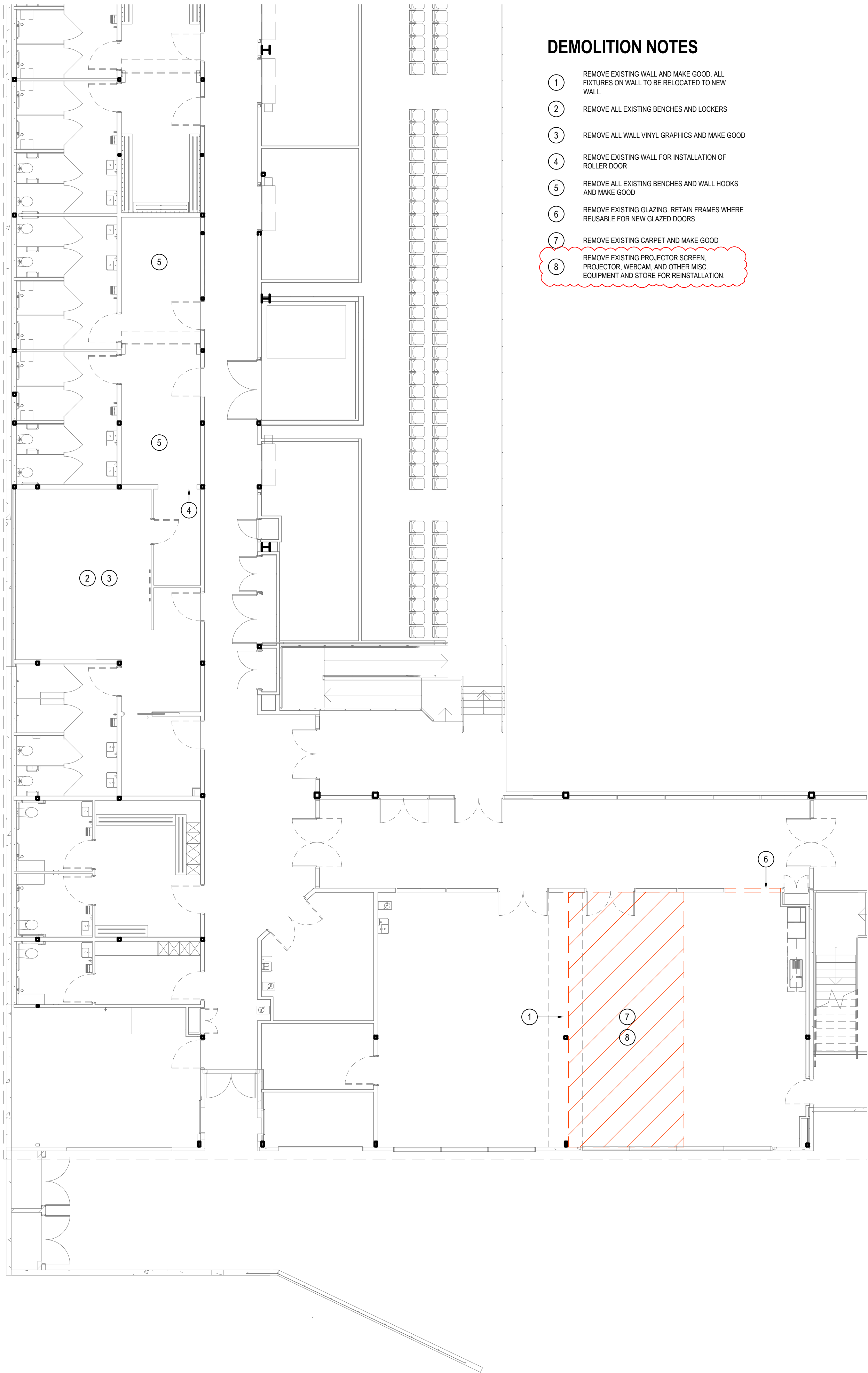
SCALE:

NTS

REVISI

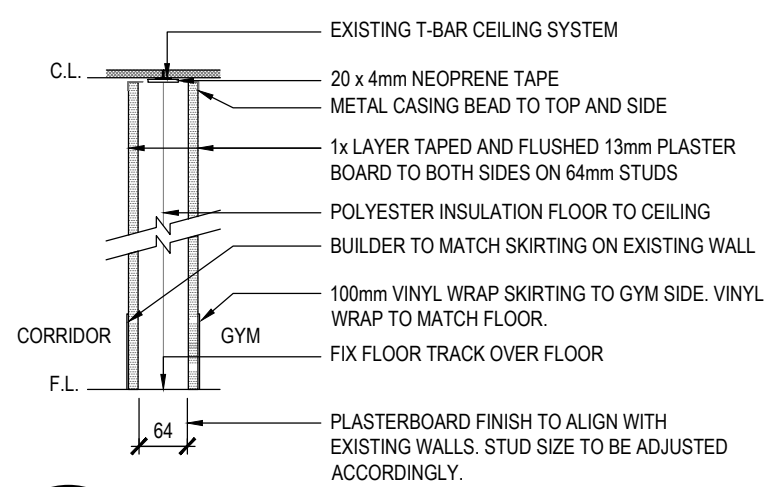
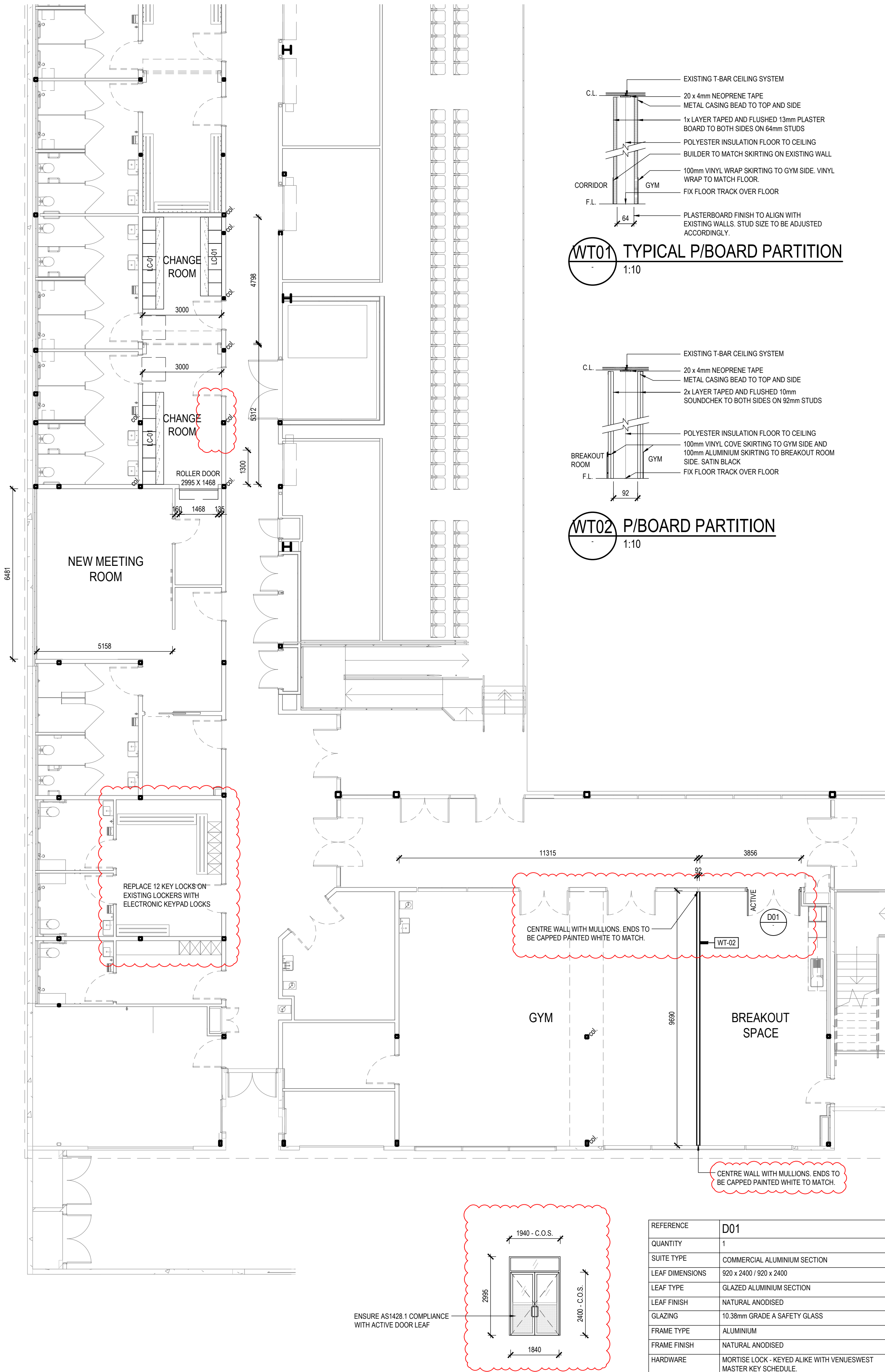
A

NORTH:

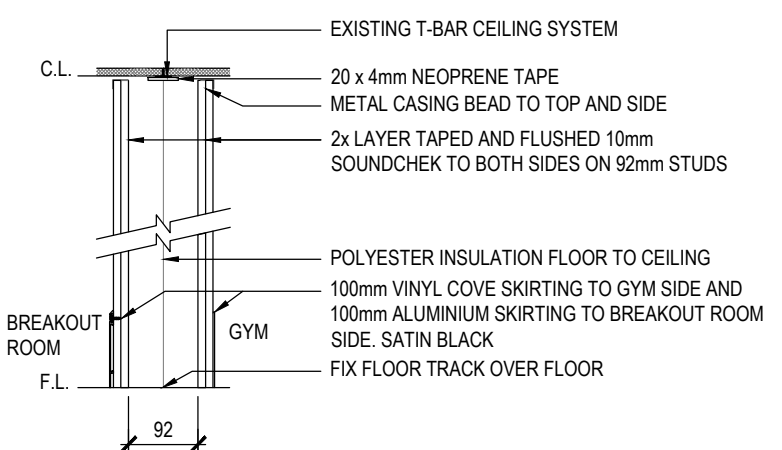


DEMOLITION NOTES

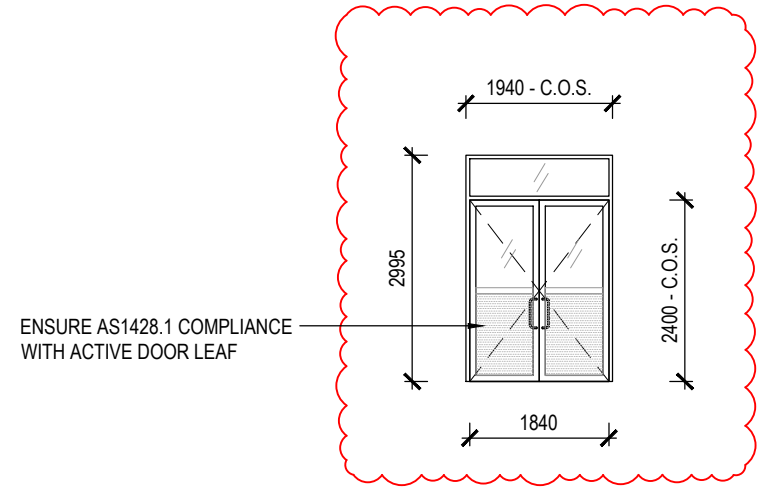
- 1 REMOVE EXISTING WALL AND MAKE GOOD. ALL FIXTURES ON WALL TO BE RELOCATED TO NEW WALL.
- 2 REMOVE ALL EXISTING BENCHES AND LOCKERS
- 3 REMOVE ALL WALL VINYL GRAPHICS AND MAKE GOOD
- 4 REMOVE EXISTING WALL FOR INSTALLATION OF ROLLER DOOR
- 5 REMOVE ALL EXISTING BENCHES AND WALL HOOKS AND MAKE GOOD
- 6 REMOVE EXISTING GLAZING, RETAIN FRAMES WHERE REUSABLE FOR NEW GLAZED DOORS
- 7 REMOVE EXISTING CARPET AND MAKE GOOD
- 8 REMOVE EXISTING PROJECTOR SCREEN, PROJECTOR, WEBCAM, AND OTHER MISC. EQUIPMENT AND STORE FOR REINSTALLATION.



WT01 TYPICAL P/BOARD PARTITION
1:10



WT02 P/BOARD PARTITION
1:10



D01 BREAKOUT DOOR
1:100

REFERENCE	D01
QUANTITY	1
SUITE TYPE	COMMERCIAL ALUMINIUM SECTION
LEAF DIMENSIONS	920 x 2400 / 920 x 2400
LEAF TYPE	GLAZED ALUMINIUM SECTION
LEAF FINISH	NATURAL ANODISED
GLAZING	10.38mm GRADE A SAFETY GLASS
FRAME TYPE	ALUMINIUM
FRAME FINISH	NATURAL ANODISED
HARDWARE	MORTISE LOCK - KEYED ALIKE WITH VENUESWEST MASTER KEY SCHEDULE. AS1428.1 COMPLIANT LEVER FREE HANDLE EXIT BRUSHED STAINLESS OFFSET D-PULL TO BOTH LEAFS TO MATCH EXISTING ADJACENT.
NOTES	CONFIRM WITH CLIENT METHOD OF LOCKING AND OPERATION PRIOR TO ORDER AND INSTALLATION. AS1428.1 COMPLIANT VISUAL INDICATOR STRIP TO MATCH ADJACENT VINYL FROSTING TO LOWER HALF TO MATCH EXISTING ADJACENT.

THIS DRAWING AND ALL INFORMATION SHOWN IS THE EXCLUSIVE PROPERTY OF "Y ARCHITECTURE STUDIO" AND IS SUBMITTED ONLY ON A CONFIDENTIAL BASIS. THE RECIPIENT AGREES NOT TO REPRODUCE THE DRAWING AND TO RETURN IT UPON REQUEST AND THAT NO DISCLOSURE OF THE DRAWING OR THE INFORMATION SHOWN WILL BE MADE TO ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT FROM "Y ARCHITECTURE STUDIO".

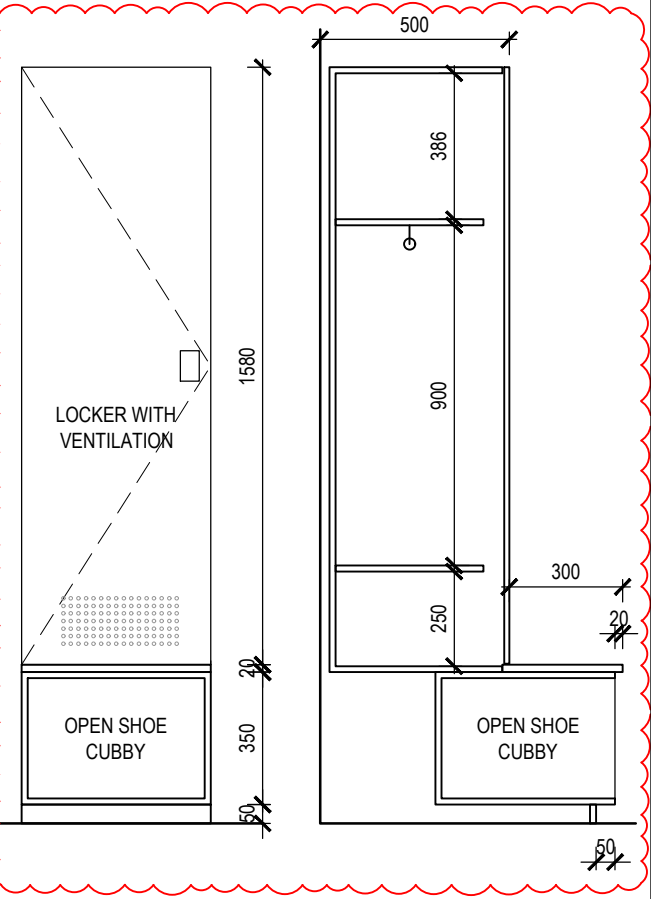
ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO COMMENCEMENT OF ANY WORK AND DISCREPANCIES IMMEDIATELY REPORTED TO THE CONSULTANT FOR INTERPRETATION.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS IN THE ARCHITECTURAL SET, CONSULTANT DRAWINGS, PROJECT SPECIFICATIONS, SCHEDULES, AND RELEVANT CONTRACTS.

DO NOT SCALE FROM DRAWINGS, REFER TO GIVEN DIMENSIONS.

VARIATIONS TO WORK SHOWN MUST BE CLAIMED AND APPROVED.

NOTE LEGEND



LOCKER ELEVATION SCALE: 1:20 @ A1
LOCKER SECTION SCALE: 1:20 @ A1

REV.	DATE	DESCRIPTION	DRAWN	CHECKED
A	26.03.25	ISSUE FOR REVIEW	TA	YN
B	31.03.25	ISSUE FOR REVIEW	TA	YN
C	03.04.25	ISSUE FOR BUILDING PERMIT	TA	YN

CLIENT:

VENUES WEST

ARCHITECT:

y. architecture
STUDIO

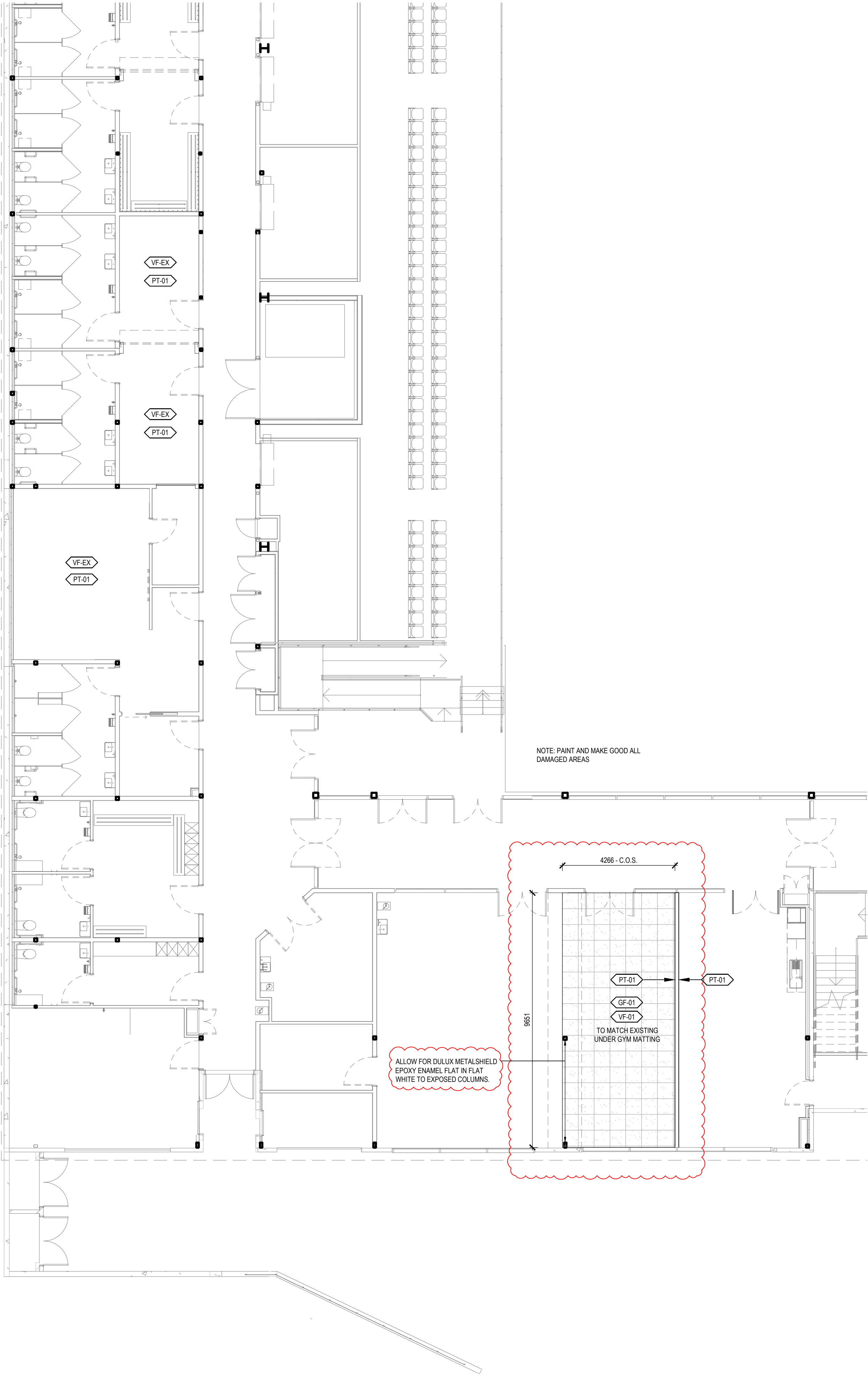
yip@y-architecture-studio / 0430 394 223 / ABWA 3028

CONSTRUCTION

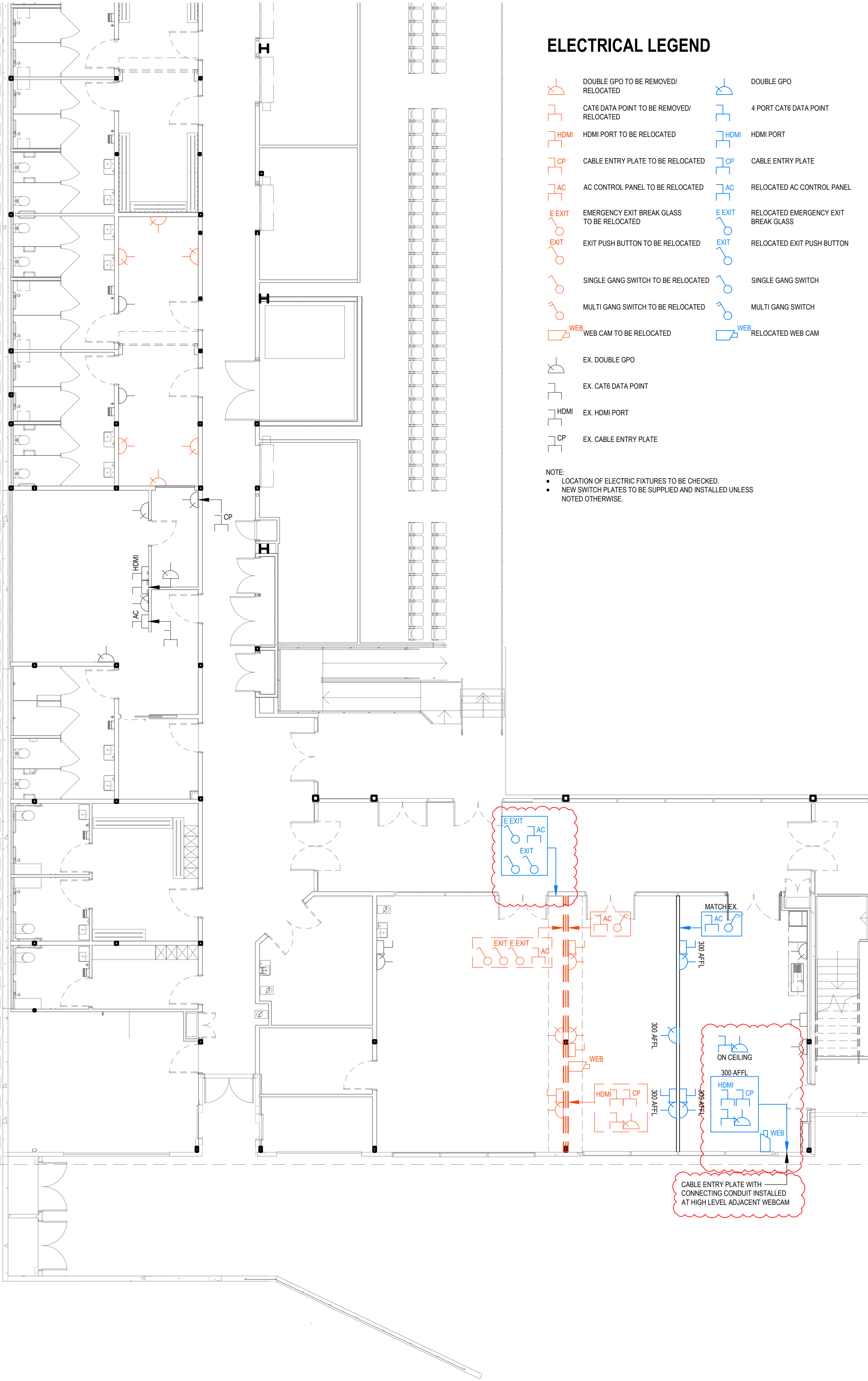
PROJECT:
GOLD NETBALL CENTRE
200 Selby St, Jolimont WA 6014

DRAWING TITLE:
DEMOLITION PLAN & FLOOR PLAN

DRAWING NO.	REVISION:
A1.01	C
JOB NO: 136	SCALE: 1:100 @ A1
DRAWN BY: TA	CHECKED BY: YN
NORTH: ↑	



FINISHES PLAN
SCALE 1:100 @ A1



ELECTRICAL PLAN
SCALE 1:100 @ A1

ELECTRICAL LEGEND

- DOUBLE GPO TO BE REMOVED/
RELOCATED
- CAT6 DATA POINT TO BE REMOVED/
RELOCATED
- HDMI PORT TO BE RELOCATED
- CABLE ENTRY PLATE TO BE RELOCATED
- AC CONTROL PANEL TO BE RELOCATED
- EMERGENCY EXIT BREAK GLASS
TO BE RELOCATED
- EXIT PUSH BUTTON TO BE RELOCATED
- SINGLE GANG SWITCH TO BE RELOCATED
- MULTI GANG SWITCH TO BE RELOCATED
- WEB CAM TO BE RELOCATED
- EX. DOUBLE GPO
- EX. CAT6 DATA POINT
- EX. HDMI PORT
- EX. CABLE ENTRY PLATE

DOUBLE GPO

4 PORT CAT6 DATA POINT

HDMI PORT

CABLE ENTRY PLATE

RELOCATED AC CONTROL PANEL

RELOCATED EMERGENCY EXIT
BREAK GLASS

RELOCATED EXIT PUSH BUTTON

SINGLE GANG SWITCH

MULTI GANG SWITCH

RELOCATED WEB CAM

EX. DOUBLE GPO

EX. CAT6 DATA POINT

EX. HDMI PORT

EX. CABLE ENTRY PLATE

NOTE:

- LOCATION OF ELECTRIC FIXTURES TO BE CHECKED.
- NEW SWITCH PLATES TO BE SUPPLIED AND INSTALLED UNLESS NOTED OTHERWISE.

THIS DRAWING AND ALL INFORMATION SHOWN IS THE EXCLUSIVE PROPERTY OF "Y ARCHITECTURE STUDIO" AND IS SUBMITTED ONLY ON A CONFIDENTIAL BASIS. THE RECIPIENT AGREES NOT TO REPRODUCE THE DRAWING AND TO RETURN IT UPON REQUEST AND THAT NO DISCLOSURE OF THE DRAWING OR THE INFORMATION SHOWN WILL BE MADE TO ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT FROM "Y ARCHITECTURE STUDIO".

ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO COMMENCEMENT OF ANY WORK AND DISCREPANCIES IMMEDIATELY REPORTED TO THE CONSULTANT FOR INTERPRETATION.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS IN THE ARCHITECTURAL SET, CONSULTANT DRAWINGS, PROJECT SPECIFICATIONS, SCHEDULES, AND RELEVANT CONTRACTS.

DO NOT SCALE FROM DRAWINGS, REFER TO GIVEN DIMENSIONS.

VARIATIONS TO WORK SHOWN MUST BE CLAIMED AND APPROVED.

NOTE LEGEND

REV.	DATE	DESCRIPTION	DRAWN	CHECKED
A	26.03.25	ISSUE FOR REVIEW	TA	YN
B	03.04.25	ISSUE FOR BUILDING PERMIT	YN	YN

CLIENT:

ARCHITECT:

yip@y-architecture-studio / 0430 394 223 / ABWA 3028

CONSTRUCTION

PROJECT:
GOLD NETBALL CENTRE
200 Selby St, Jolimont WA 6014

DRAWING TITLE:
FINISHES PLAN AND ELECTRICAL PLAN

DRAWING NO.
A1.02

JOB NO:
136

DRAWN BY:
TA

REVISION:
B

SCALE:
1:100 @ A1

CHECKED BY:
YN

NORTH:

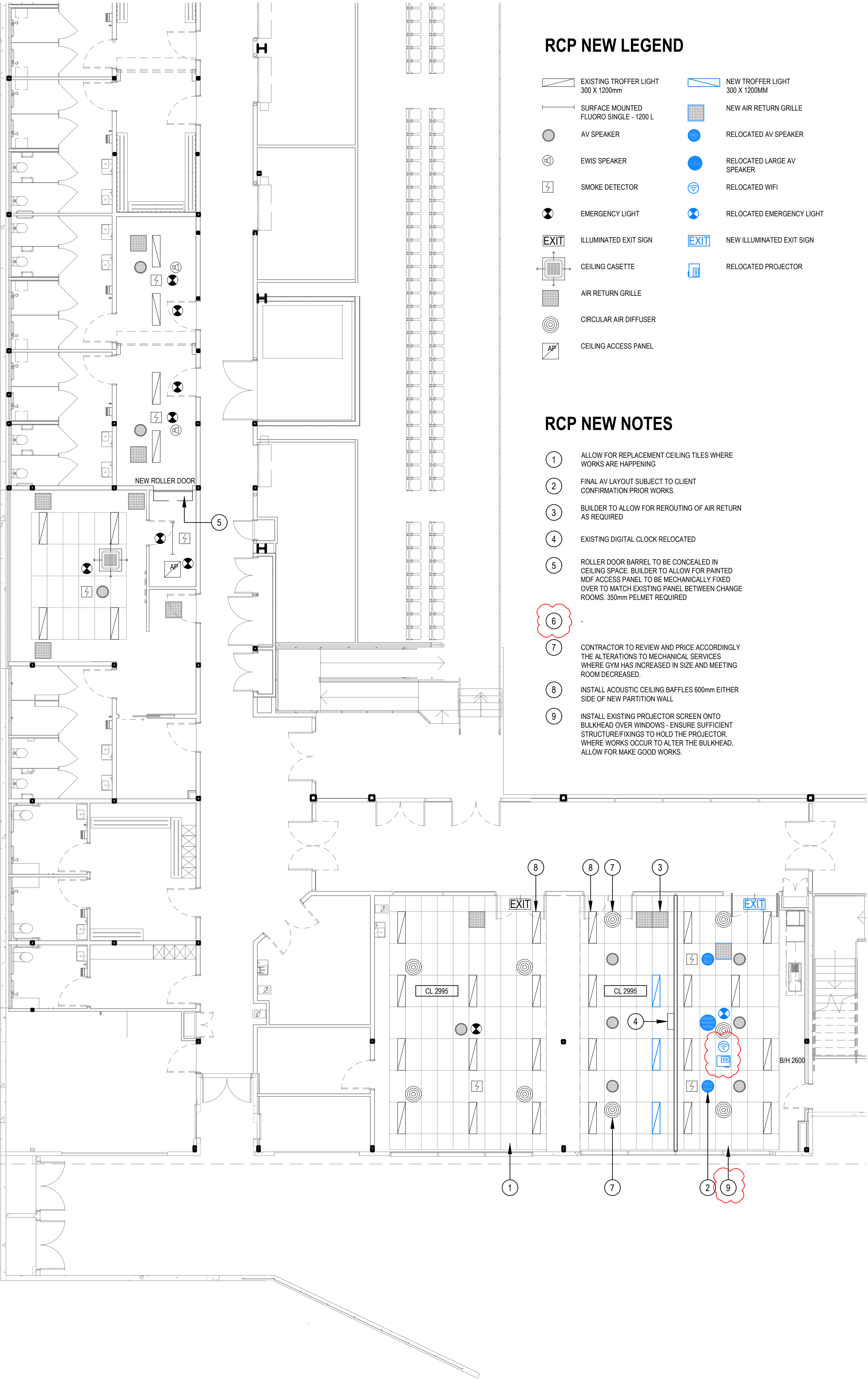


RCP DEMOLITION LEGEND

- EXISTING TROFFER LIGHT 300 X 1200mm
- SURFACE MOUNTED FLUORO SINGLE - 1200 L
- AV SPEAKER
- EWIS SPEAKER
- SMOKE DETECTOR
- EMERGENCY LIGHT
- ILLUMINATED EXIT SIGN
- CEILING CASSETTE
- AIR RETURN GRILLE
- CIRCULAR AIR DIFFUSER
- CEILING ACCESS PANEL
- AV SPEAKER TO BE RELOCATED
- LARGE AV SPEAKER TO BE RELOCATED
- WIFI TO BE RELOCATED
- PROJECTOR TO BE RELOCATED
- EMERGENCY LIGHT TO BE RELOCATED

RCP DEMO NOTES

- DIGITAL CLOCK AND SERVICE CONNECTION TO BE RELOCATED TO NEW DIVIDING WALL
- RETAIN EXISTING BULKHEAD - ALLOW FOR MAKE GOOD AND STRUCTURE AS REQUIRED TO SUPPORT BULKHEAD ONCE WALL UNDER IS REMOVED.



RCP NEW LEGEND

- EXISTING TROFFER LIGHT 300 X 1200mm
- SURFACE MOUNTED FLUORO SINGLE - 1200 L
- AV SPEAKER
- EWIS SPEAKER
- SMOKE DETECTOR
- EMERGENCY LIGHT
- ILLUMINATED EXIT SIGN
- CEILING CASSETTE
- AIR RETURN GRILLE
- CIRCULAR AIR DIFFUSER
- CEILING ACCESS PANEL
- NEW TROFFER LIGHT 300 X 1200MM
- NEW AIR RETURN GRILLE
- RELOCATED AV SPEAKER
- RELOCATED LARGE AV SPEAKER
- RELOCATED WIFI
- RELOCATED EMERGENCY LIGHT
- NEW ILLUMINATED EXIT SIGN
- RELOCATED PROJECTOR

RCP NEW NOTES

- ALLOW FOR REPLACEMENT CEILING TILES WHERE WORKS ARE HAPPENING
- FINAL AV LAYOUT SUBJECT TO CLIENT CONFIRMATION PRIOR WORKS.
- BUILDER TO ALLOW FOR REROUTING OF AIR RETURN AS REQUIRED
- EXISTING DIGITAL CLOCK RELOCATED
- ROLLER DOOR BARREL TO BE CONCEALED IN CEILING SPACE. BUILDER TO ALLOW FOR PAINTED MDF ACCESS PANEL TO BE MECHANICALLY FIXED OVER TO MATCH EXISTING PANEL BETWEEN CHANGE ROOMS. 350mm PELMET REQUIRED
- CONTRACTOR TO REVIEW AND PRICE ACCORDINGLY THE ALTERATIONS TO MECHANICAL SERVICES WHERE GYM HAS INCREASED IN SIZE AND MEETING ROOM DECREASED.
- INSTALL ACOUSTIC CEILING BAFFLES 600mm EITHER SIDE OF NEW PARTITION WALL
- INSTALL EXISTING PROJECTOR SCREEN ONTO BULKHEAD OVER WINDOWS - ENSURE SUFFICIENT STRUCTURE/FIXINGS TO HOLD THE PROJECTOR WHERE WORKS OCCUR TO ALTER THE BULKHEAD, ALLOW FOR MAKE GOOD WORKS.

RCP DEMOLITION PLAN
SCALE 1:100 @ A1

RCP NEW PLAN
SCALE 1:100 @ A1

THIS DRAWING AND ALL INFORMATION SHOWN IS THE EXCLUSIVE PROPERTY OF 'Y ARCHITECTURE STUDIO' AND IS SUBMITTED ONLY ON A CONFIDENTIAL BASIS. THE RECIPIENT AGREES NOT TO REPRODUCE THE DRAWING AND TO RETURN IT UPON REQUEST AND THAT NO DISCLOSURE OF THE DRAWING OR THE INFORMATION SHOWN WILL BE MADE TO ANY THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT FROM 'Y ARCHITECTURE STUDIO'.

ALL DIMENSIONS SUBJECT TO ON SITE VERIFICATION PRIOR TO COMMENCEMENT OF ANY WORK AND DISCREPANCIES IMMEDIATELY REPORTED TO THE CONSULTANT FOR INTERPRETATION.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS IN THE ARCHITECTURAL SET, CONSULTANT DRAWINGS, PROJECT SPECIFICATIONS, SCHEDULES, AND RELEVANT CONTRACTS.

DO NOT SCALE FROM DRAWINGS, REFER TO GIVEN DIMENSIONS.

VARIATIONS TO WORK SHOWN MUST BE CLAIMED AND APPROVED.

NOTE LEGEND

REV.	DATE	DESCRIPTION	DRAWN	CHECKED
A	26.03.25	ISSUE FOR REVIEW	TA	YN
B	03.04.25	ISSUE FOR BUILDING PERMIT	TA	YN
C	01.05.25	ISSUE FOR BUILDING PERMIT	YN	YN

CLIENT:

VENUES WEST

ARCHITECT:

y. architecture
STUDIO

yip@y-architecture-studio / 0430 394 223 / ABWA 3028

CONSTRUCTION

PROJECT:
GOLD NETBALL CENTRE
200 Selby St, Jolimont WA 6014

DRAWING TITLE:
RCP DEMOLITION PLAN AND RCP NEW PLAN

DRAWING NO.	REVISION:
A1.03	C
JOB NO: 136	SCALE: 1:100 @ A1
DRAWN BY: TA	CHECKED BY: YN
NORTH: 	